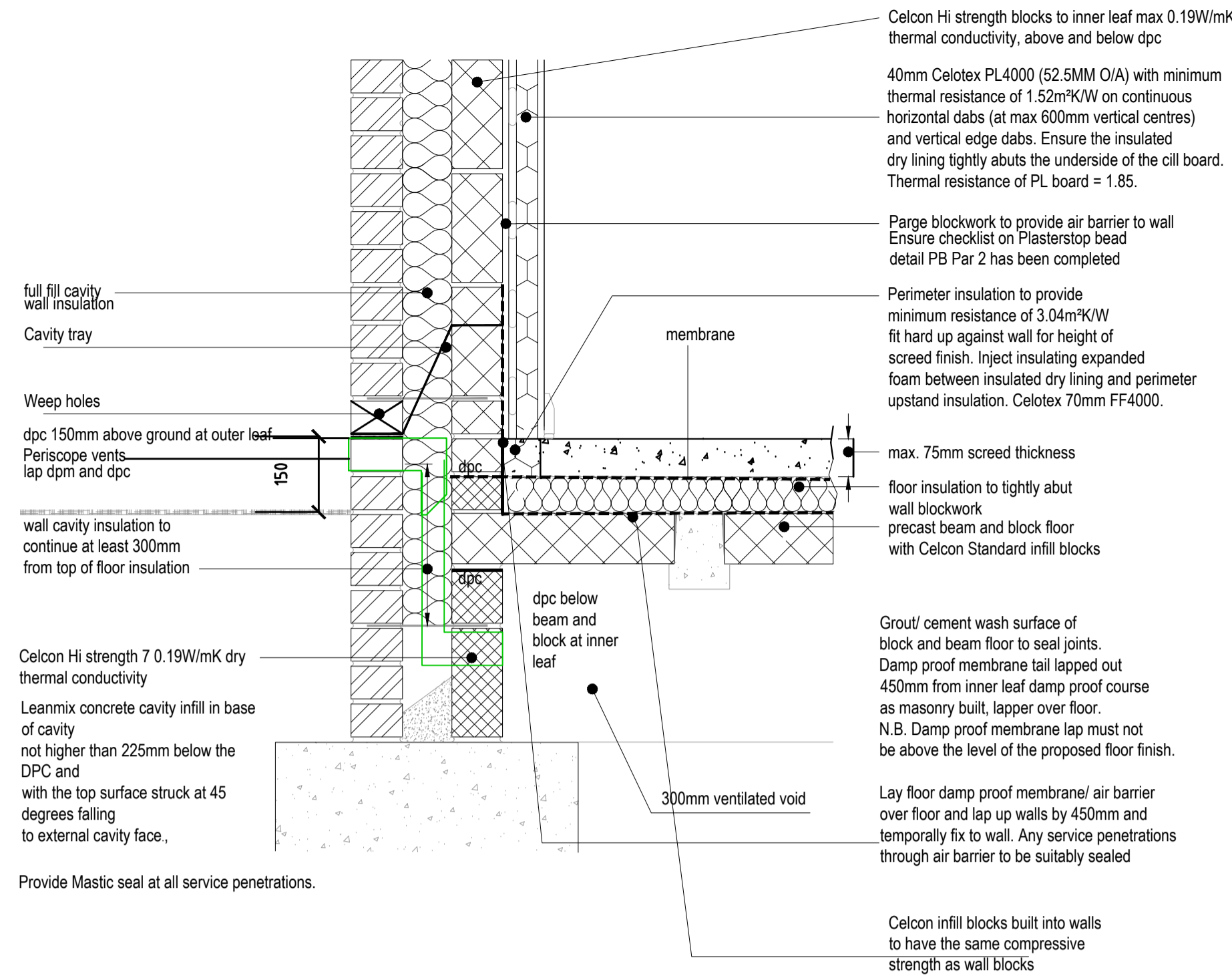


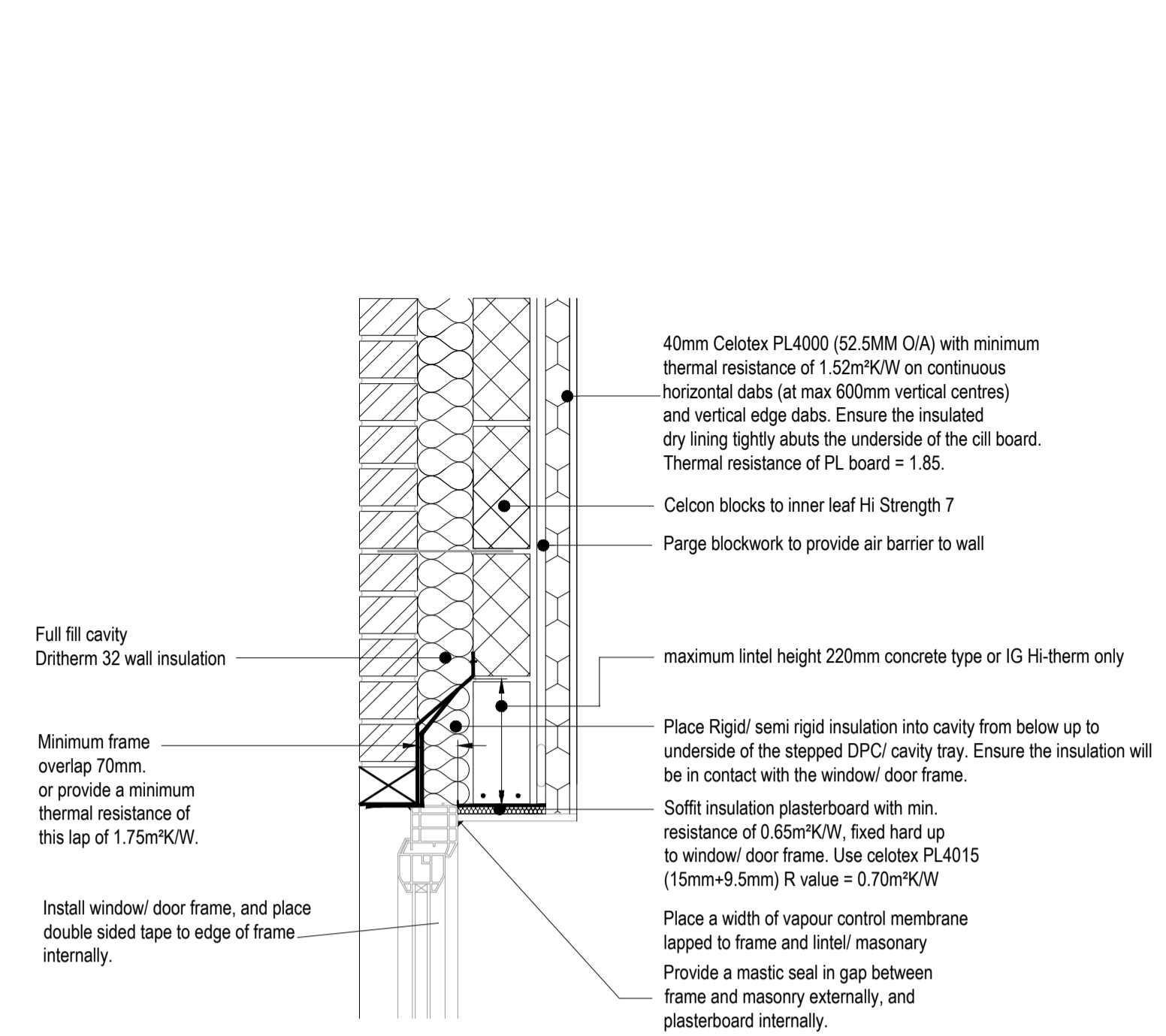
MV02-F01(A)

Indicative detail see notes and sections and MVO2 sign off sheet



MV02-F01(B)

Indicative detail see notes and sections and MVO2 sign off sheet



MV02-Lintel (B)

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F:- ISSUED FOR CONSTRUCTION

B: -ADD FENCE AND WALL DETAILS

A: -AMEND SITE PLAN

REV F	Paper A1
SHEET11/21	Scale : 1:50 1:100 1:1250
Date :FEB 2014	Drwg No: 2014/02/11/HSR

DSB PROPERTY DESIGNS LTD
 Architectural consultants

PROJECT: -

DEMOLISH EXISTING DWELLING AND ERECT
 NEW 6 BEDROOM DETACHED HOUSE

SITE ADDRESS:-

HILLTOPS
 SOUTHEND ROAD
 HOWE GREEN
 CM2 7TE

CLIENT: -

MR & MRS EVANS



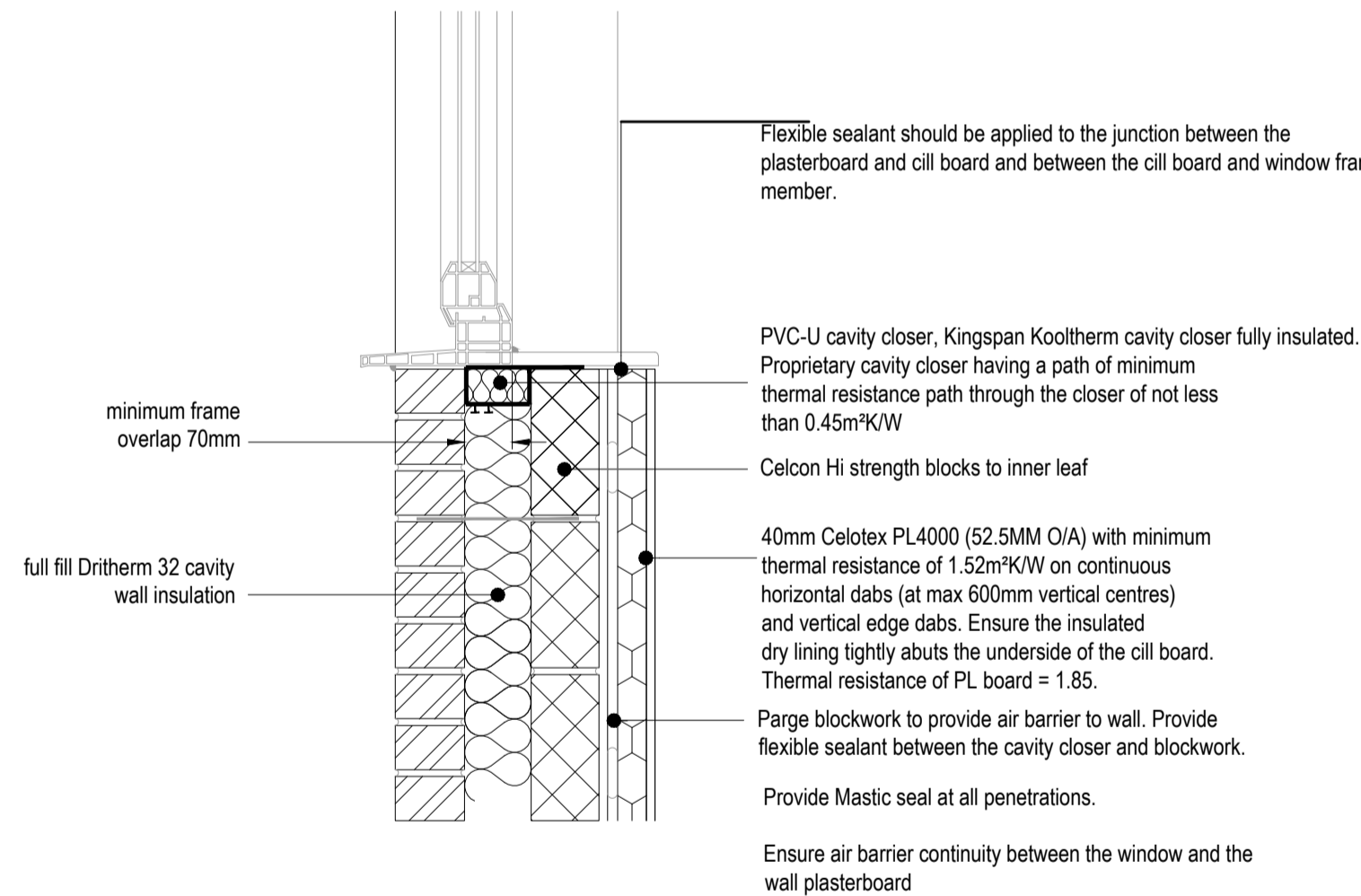
MATERIALS: -

- 1) Brick with low level plyth
- 2) Natural slate to main roof
- 3) Cambrian interlocking slate to single storey roof
- 4) PVC windows and doors
- 5) Black PVC Rainwater goods
- 6) White resin shingle drive
- 7) 1.8M Fence to side and rear
- 8) Stone copings, cills & headers

WALL KEY: -

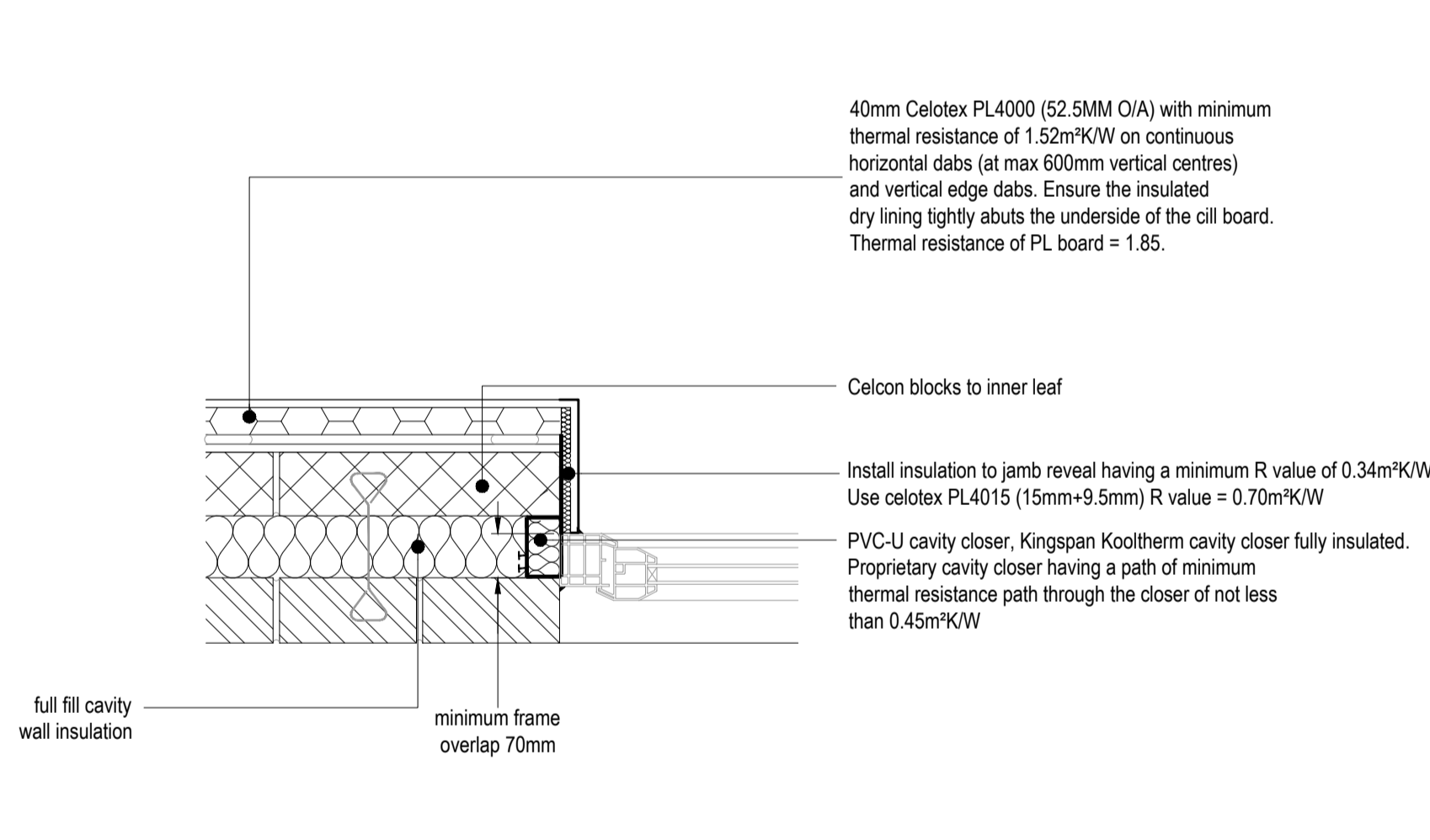
	Block walls
	Stud walls
	Proposed walls

All dimensions and measurements contained on this drawing are approximate and it is the responsibility of the Contractor to ascertain all accurate dimensions and measurements on site.



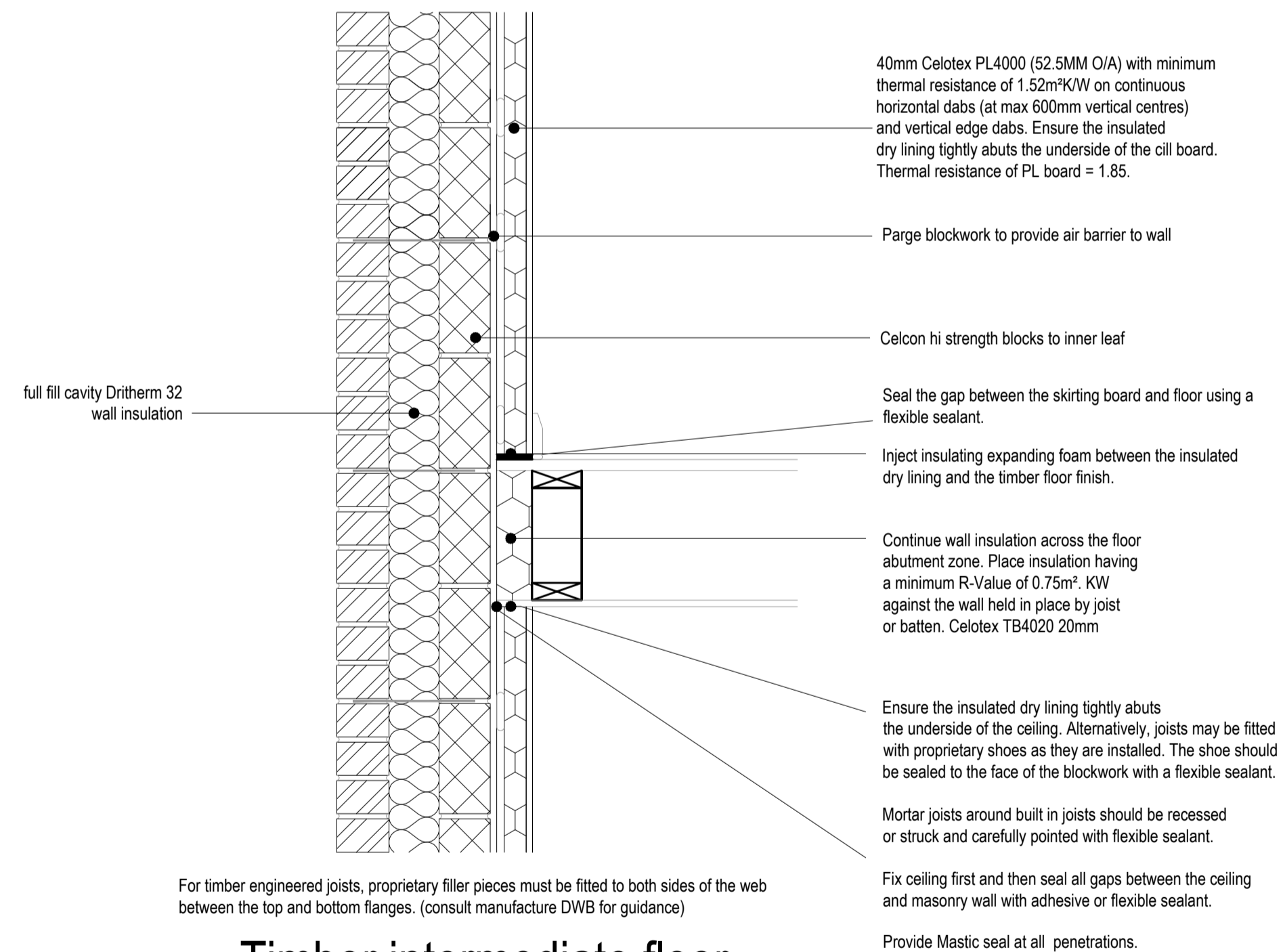
27 Window and door cills

To be read with Accredited detail MII-WD-04



28 Window and door Jamb

To be read with Accredited detail MII-WD-05/06

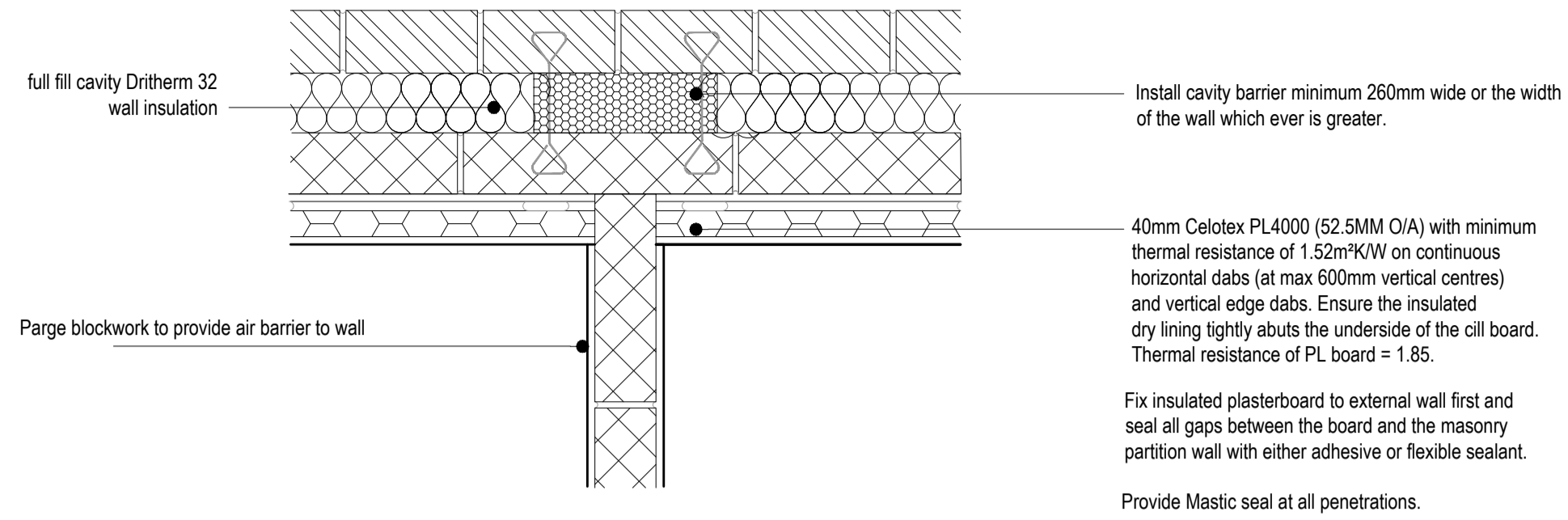


29 Timber intermediate floor

To be read with Accredited detail MII-IF-02

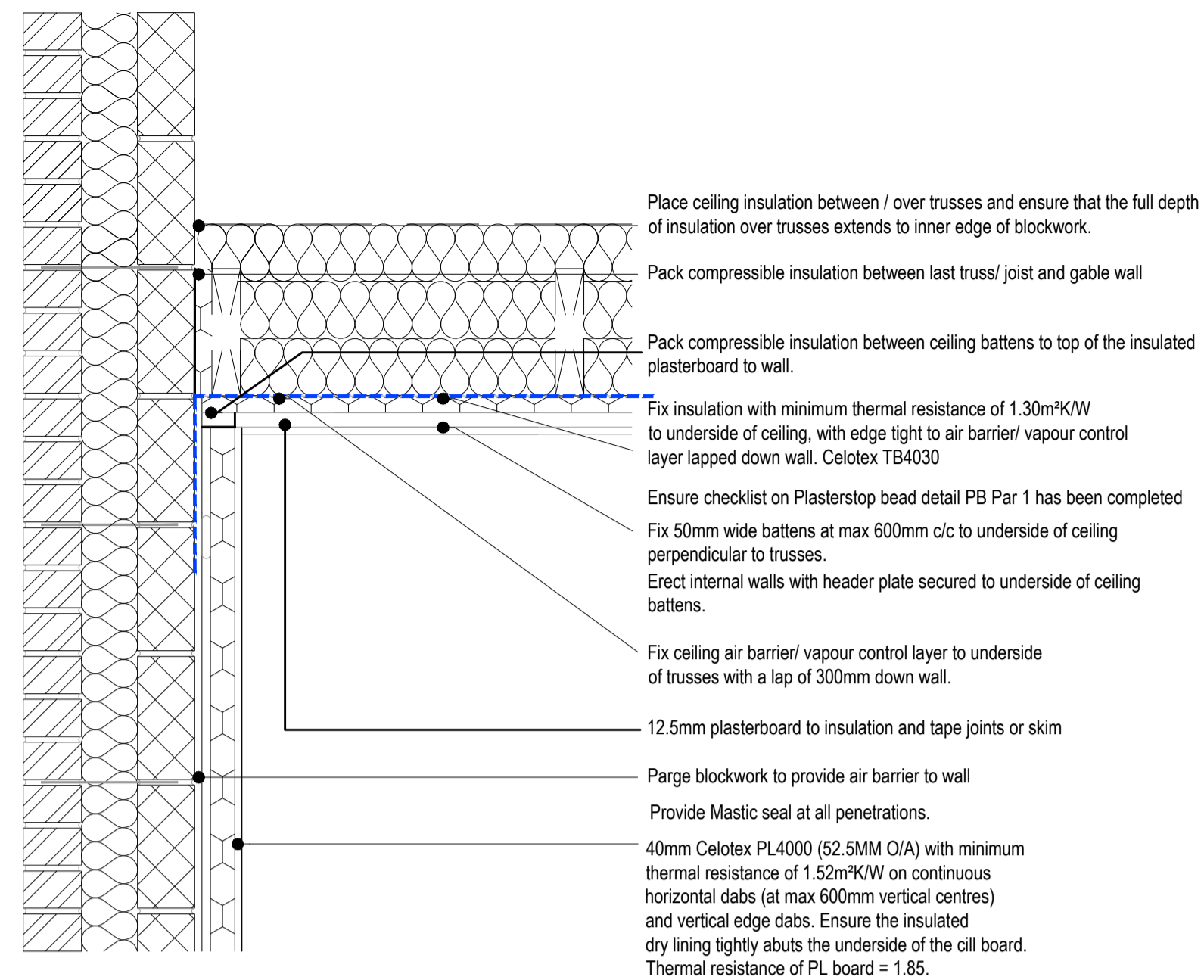
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Health and Safety Legislation. These drawings are compiled on the sole basis that the works will be undertaken by a competent Contractor experienced in the nature of the works shown hereon. ALL required temporary works to undertake the proposals shown hereon are the responsibility of the Contractor.



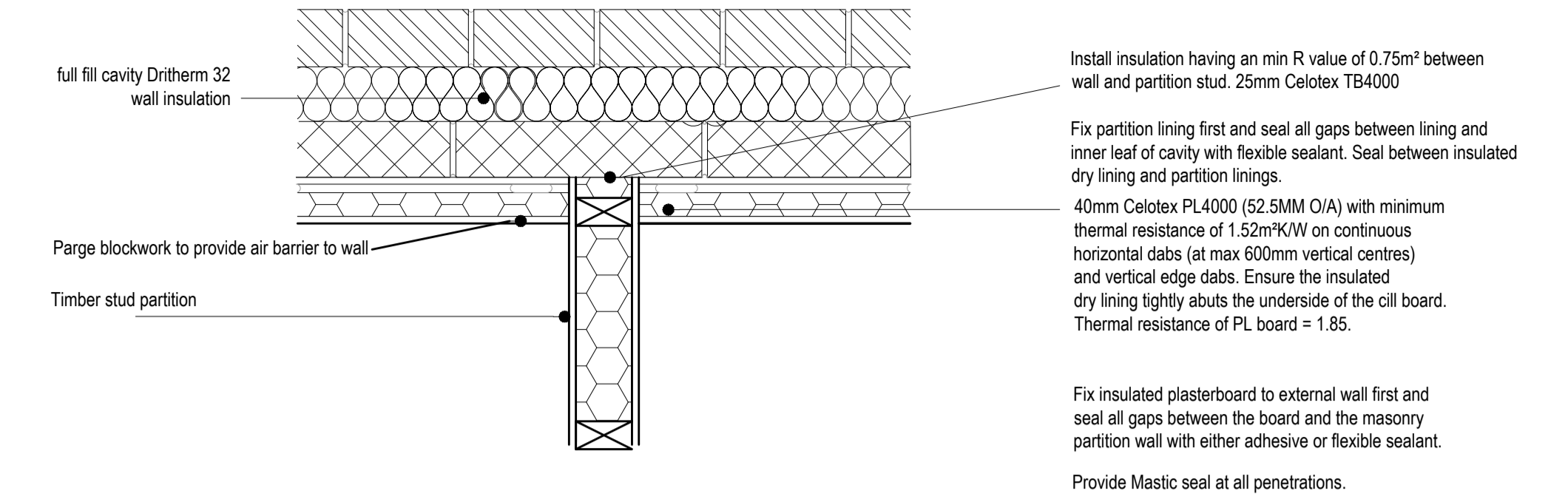
30 Internal wall junction (block)

To be read with Accredited detail MII-IW-04



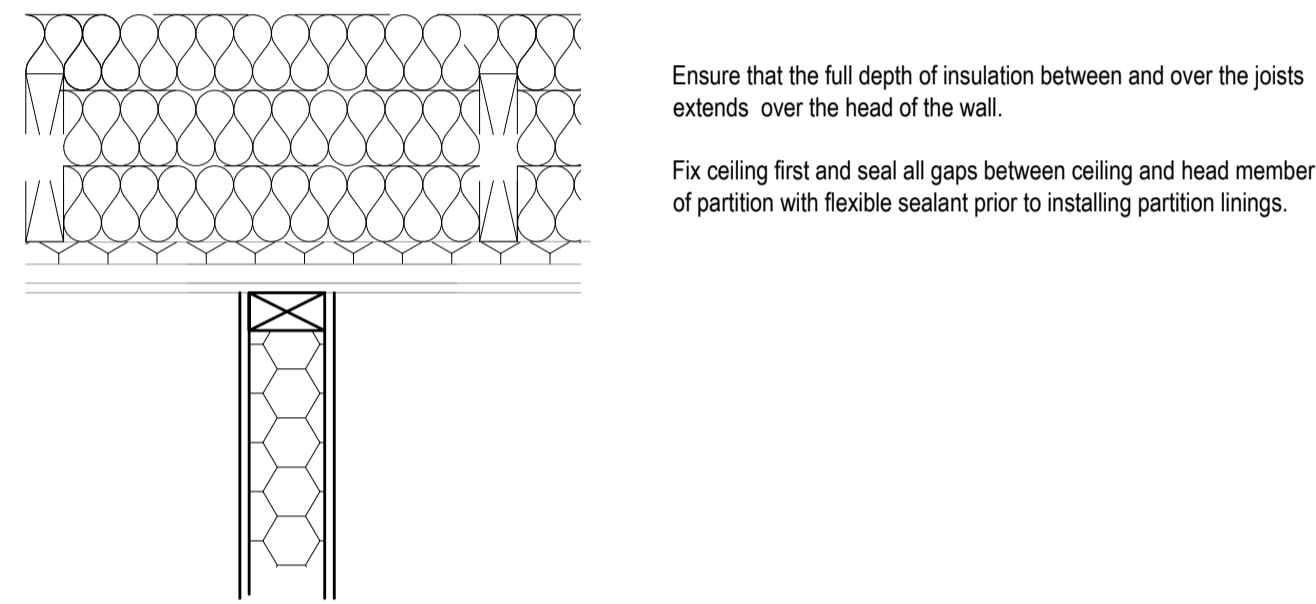
31 Gable

To be read with Enhanced detail MV02



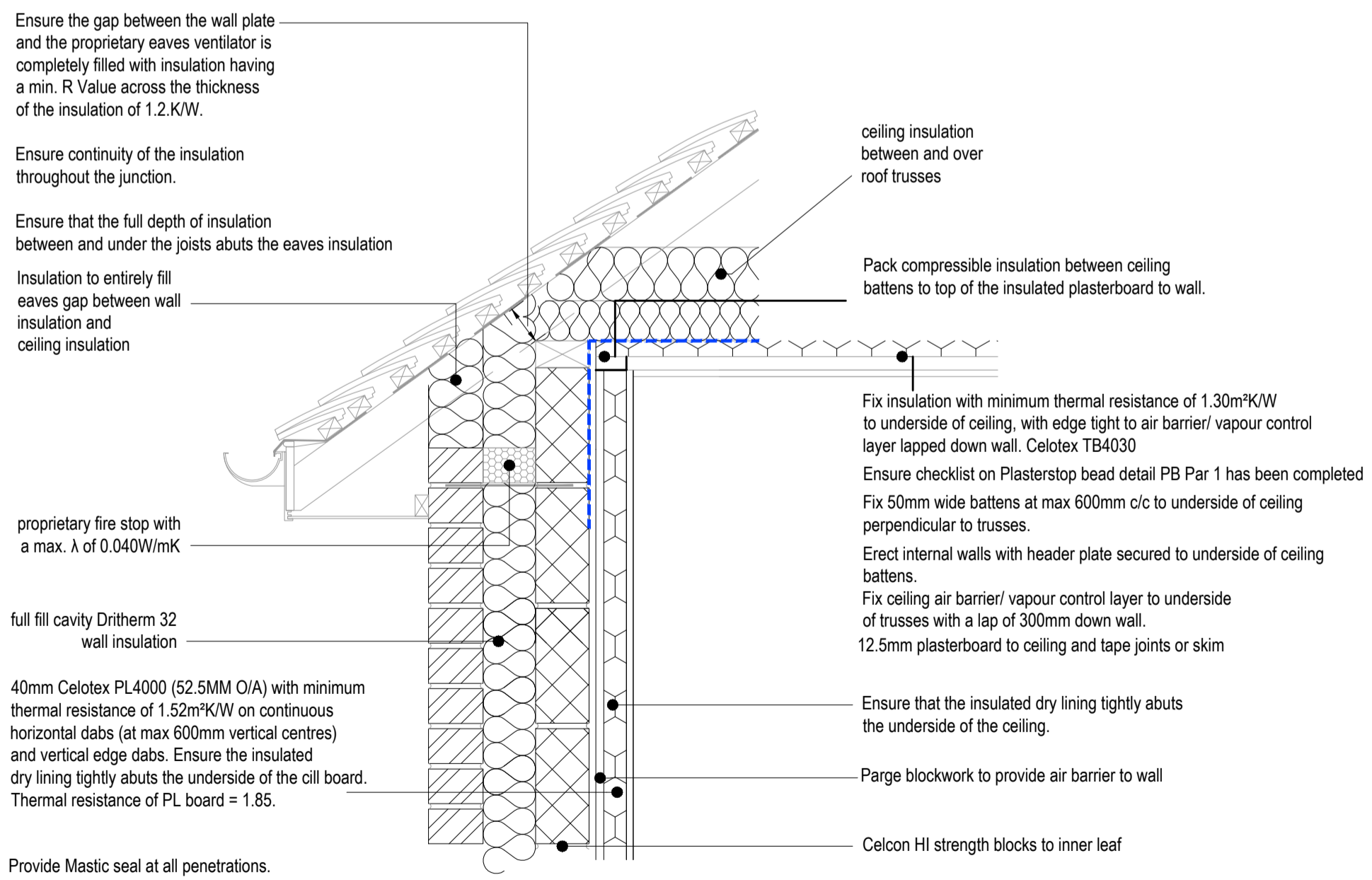
32 Internal wall junction (timber)

To be read with Accredited detail MII-IW-05/06



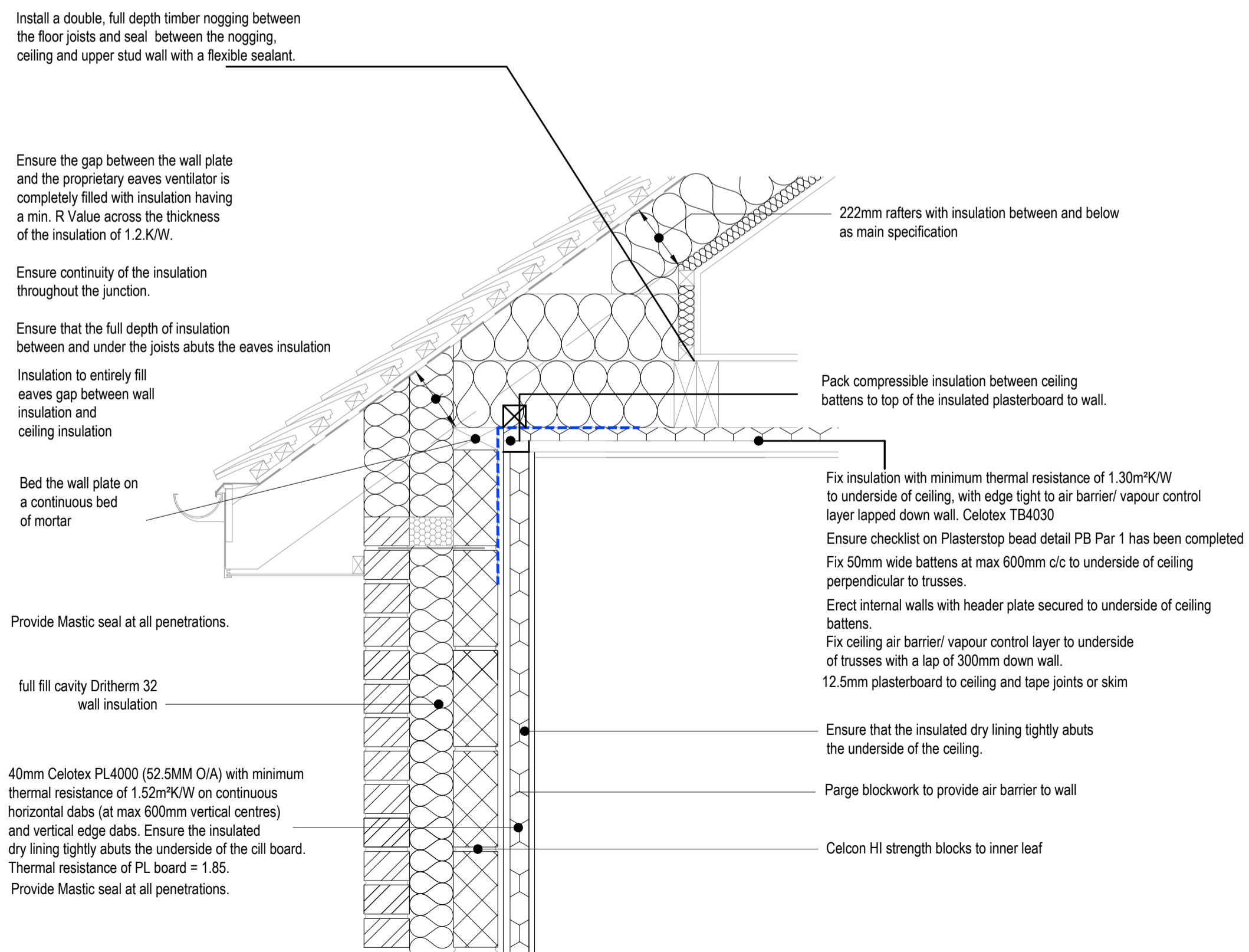
33 Head (timber)

To be read with Accredited detail MII-IW-06 and in conjunction with MII-IW-05



34 Pitched roof unventilated loft eaves

To be read with Accredited detail MII-RE-02



35 Pitched roof between and under rafter insulation

To be read with Accredited detail MII-RE-03 and read in conjunction with MII-RG-02.

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F:- ISSUED FOR CONSTRUCTION

B: -ADD FENCE AND WALL DETAILS

A: -AMEND SITE PLAN

REV F Paper A1

SHEET 12/21 Scale : 1:50 1:100 1:1250

Date :FEB 2014 Drwg No: 2014/02/12/HSR

DSB PROPERTY DESIGNS LTD
Architectural consultants

PROJECT: -

DEMOLISH EXISTING DWELLING AND ERECT NEW 6 BEDROOM DETACHED HOUSE

SITE ADDRESS:-

HILLTOPS
SOUTHEND ROAD
HOWE GREEN
CM2 7TE

CLIENT: -

MR & MRS EVANS



MATERIALS: -

- 1) Brick with low level plynth
- 2) Natural slate to main roof
- 3) Cambrian interlocking slate to single storey roof
- 4) PVC windows and doors
- 5) Black PVC Rainwater goods
- 6) White resin shingle drive
- 7) 1.8M Fence to side and rear
- 8) Stone copings, cills & headers

Engineer

Planning

Bldg Regs

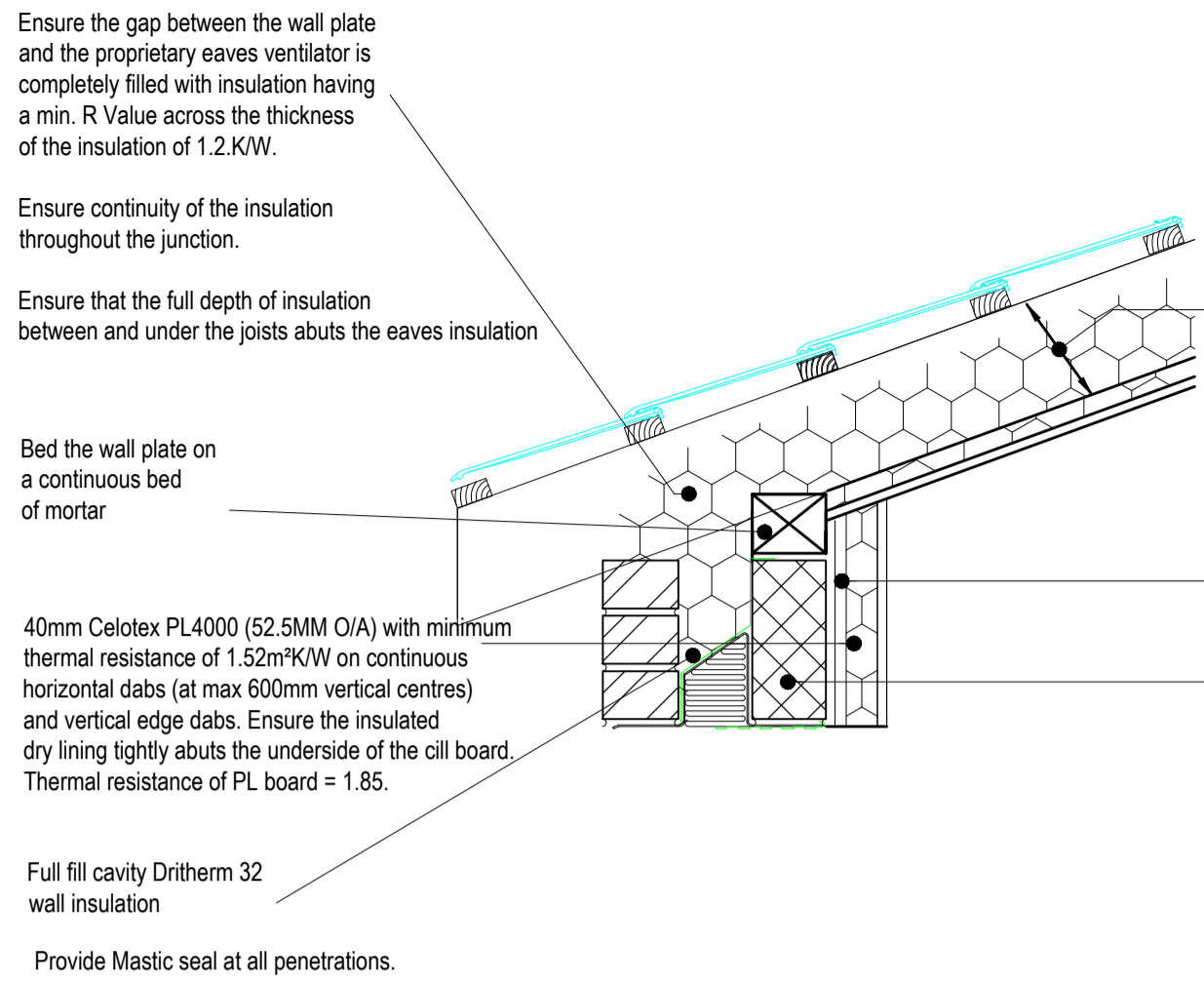
Construction

WALL KEY: -

Block walls

Stud walls

Proposed walls



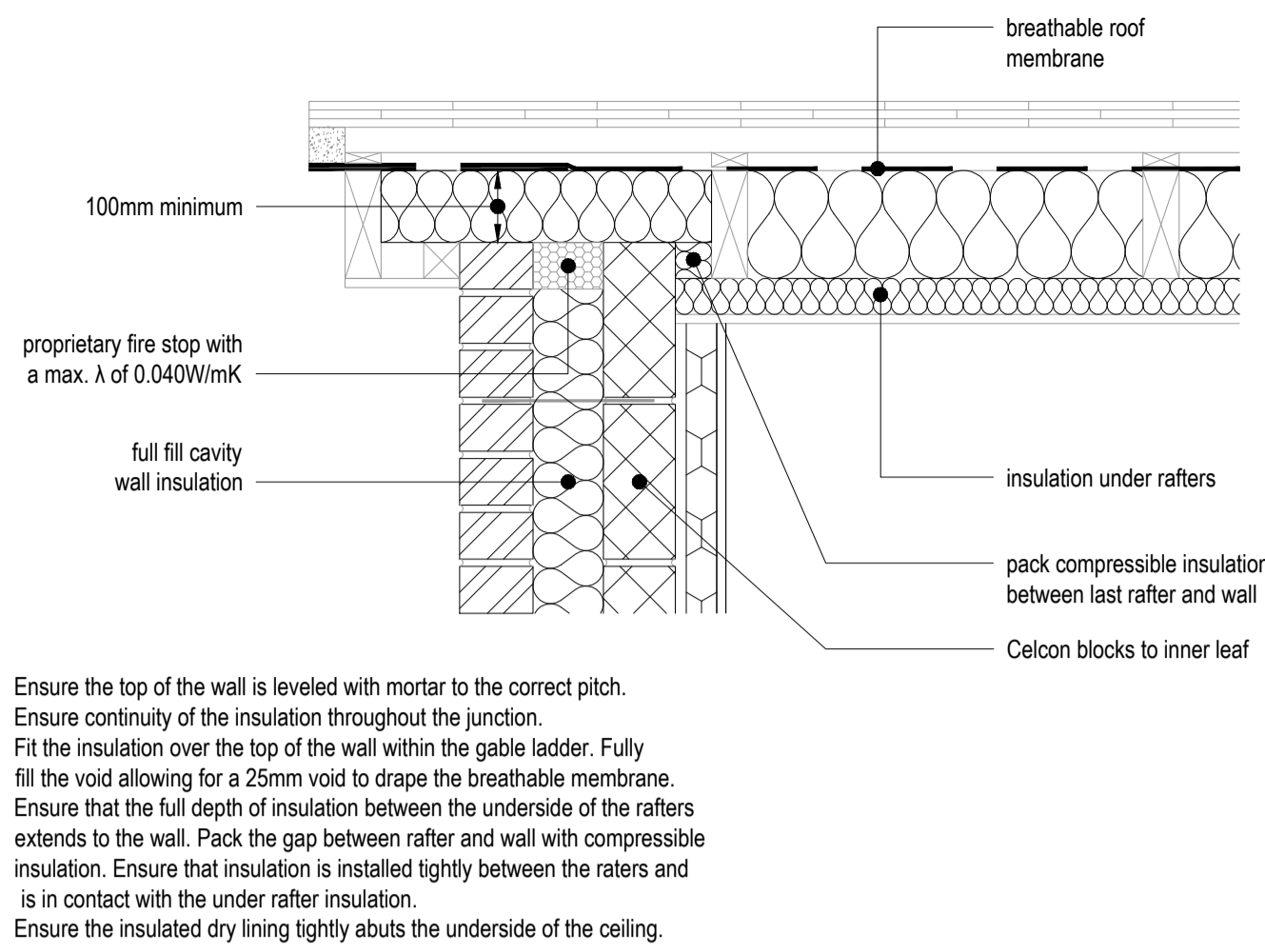
36 Pitched roof between and under rafter insulation

To be read with Accredited detail MII-RE-06 and read in conjunction with MII-RG-03.

- Insulation between and below as main specification
- Ensure that the insulation is installed tightly between the rafters and is in contact with the under rafter insulation.
- Ensure the insulated dry lining tightly abuts the underside of the ceiling.
- Parge blockwork to provide air barrier to wall
- Celcon HI strength blocks to inner leaf
- Fix ceiling first and seal all gaps between the ceiling and masonry wall with either adhesive or flexible sealant.
- Seal all penetrations through air barrier using a flexible sealant.

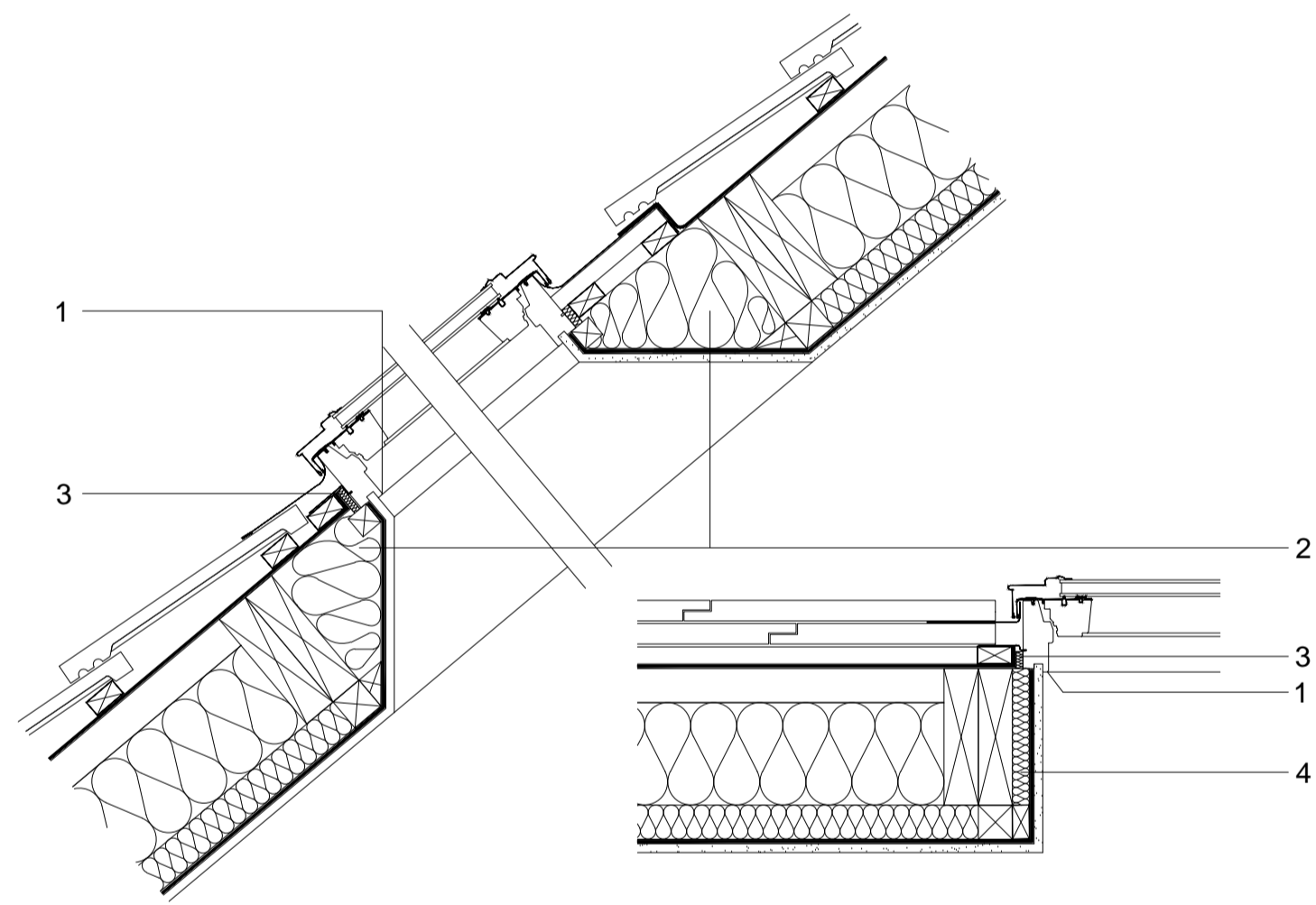
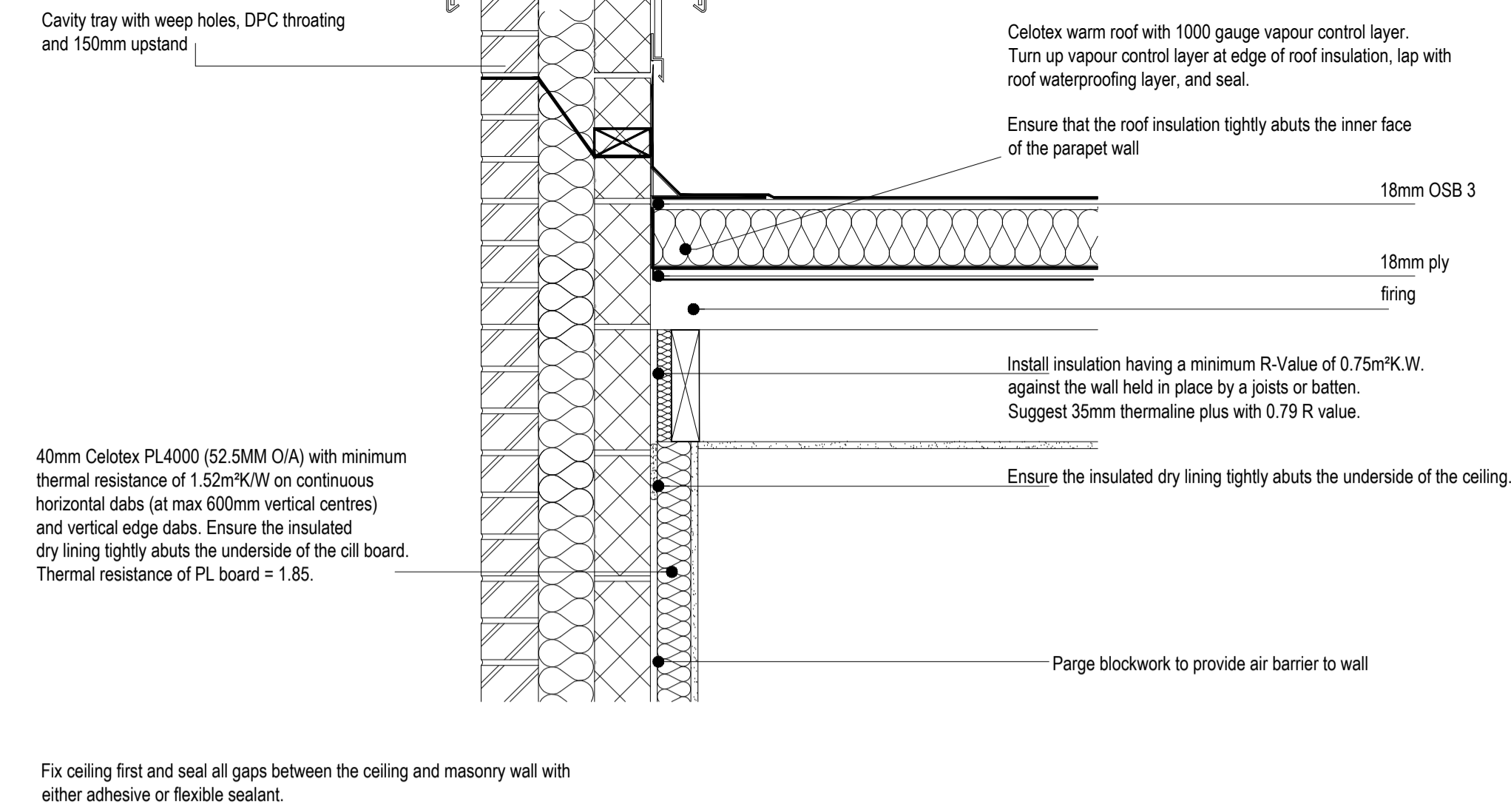
37 Pitched roof between and under rafters

To be read with Accredited detail MII-RG-02, M11-RE-03



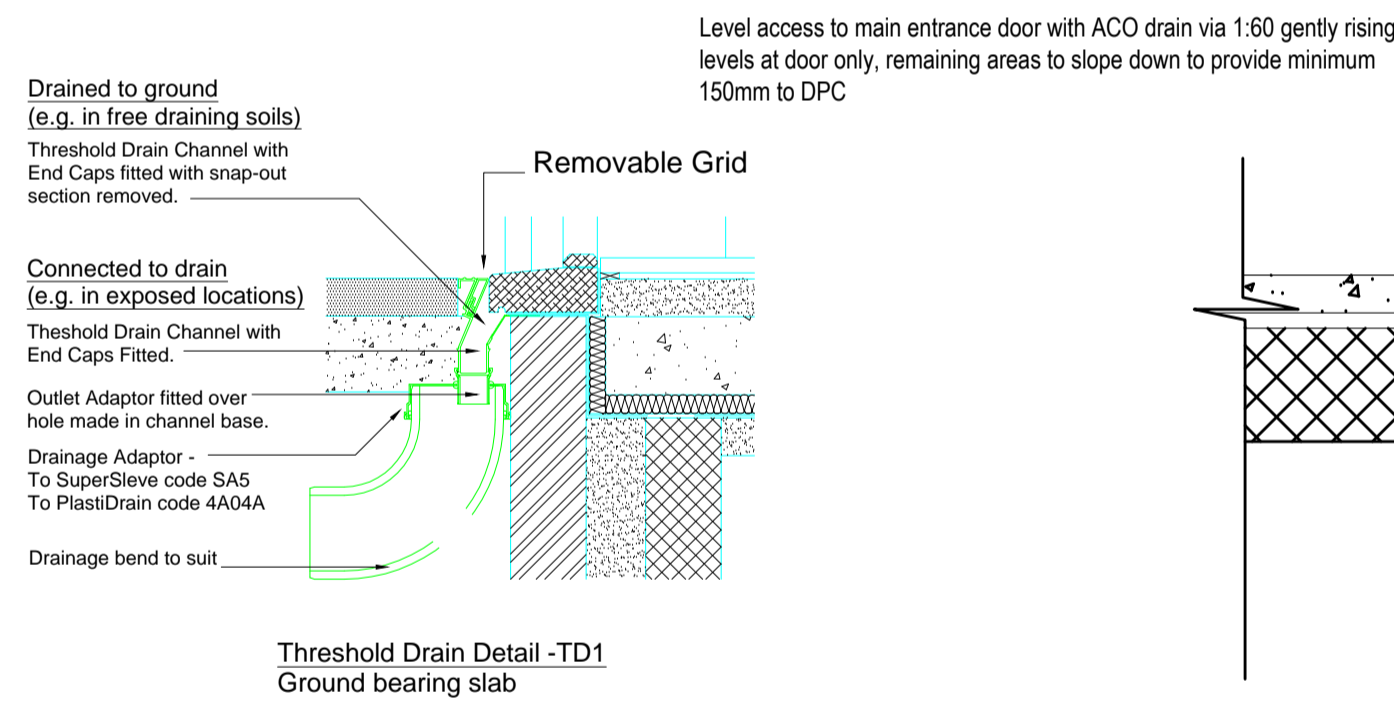
38 Flat roof with parapet

To be read with Accredited detail MII-RF-02.

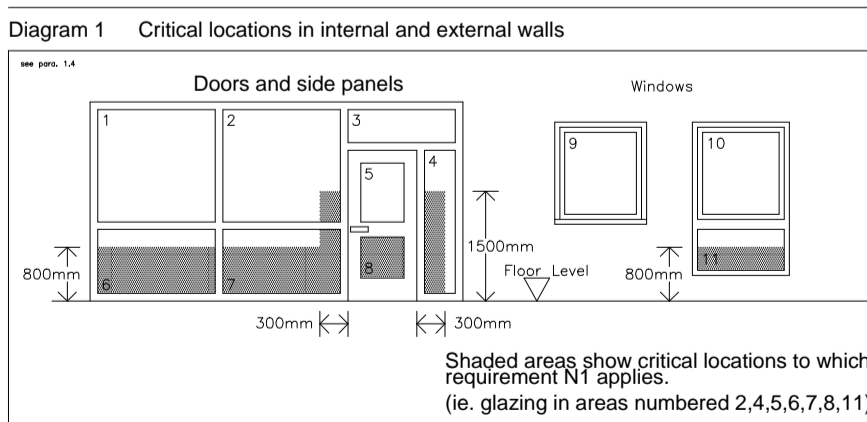
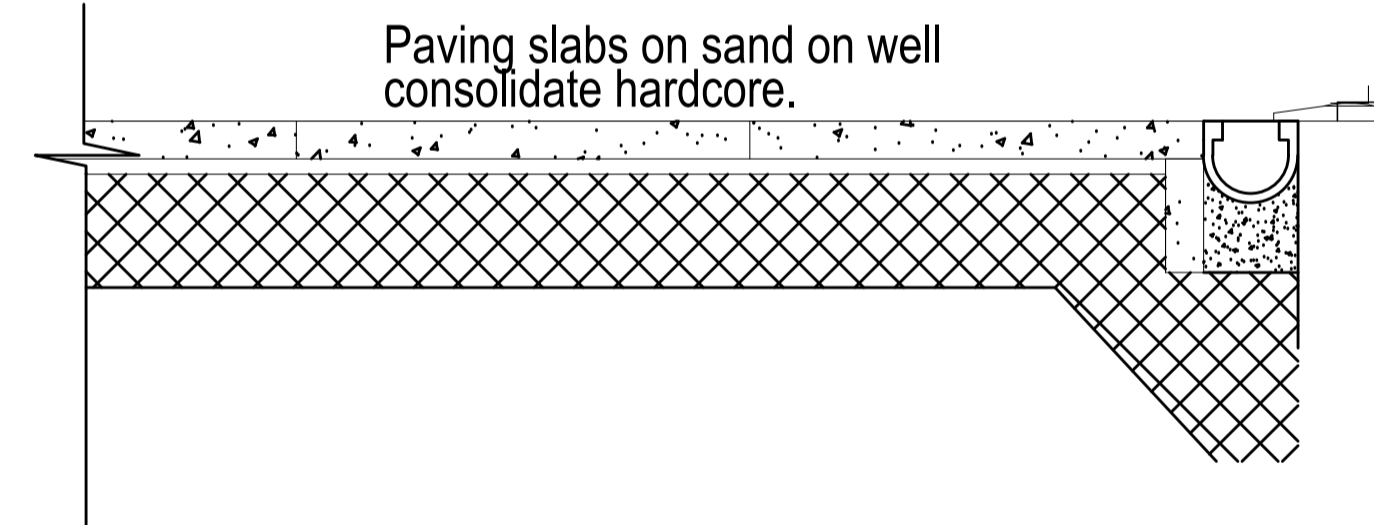


- Notes
- Window frame to be level or lower than top of rafter.
 - Pack with mineral wool (or similar).
 - Push insulation into gap between frame and tile batten.
 - Reveals to be insulated with insulation

39 Roof light



40 Level Access



- Glass and Glazing - protection against impact
- Critical Locations
- The following locations may be considered 'critical' in terms of safety:
- between finished floor level and 800mm above that level in internal and external walls and partitions (see diagram 1)
 - between finished floor level and 1500mm above that level in a door or side panel, close to either edge of the door (see diagram 1)

42 Safety Glazing

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F:- ISSUED FOR CONSTRUCTION

B:- ADD FENCE AND WALL DETAILS

A:- AMEND SITE PLAN

REV F	Paper A1
SHEET13/21	Scale : 1:50 1:100 1:1250
Date :FEB 2014	Dwg No: 2014/02/13/HSR

DSB PROPERTY DESIGNS LTD
Architectural consultants

PROJECT:-

DEMOLISH EXISTING DWELLING AND ERECT NEW 6 BEDROOM DETACHED HOUSE

SITE ADDRESS:-

HILLTOPS
SOUTHEND ROAD
HOWE GREEN
CM2 7TE

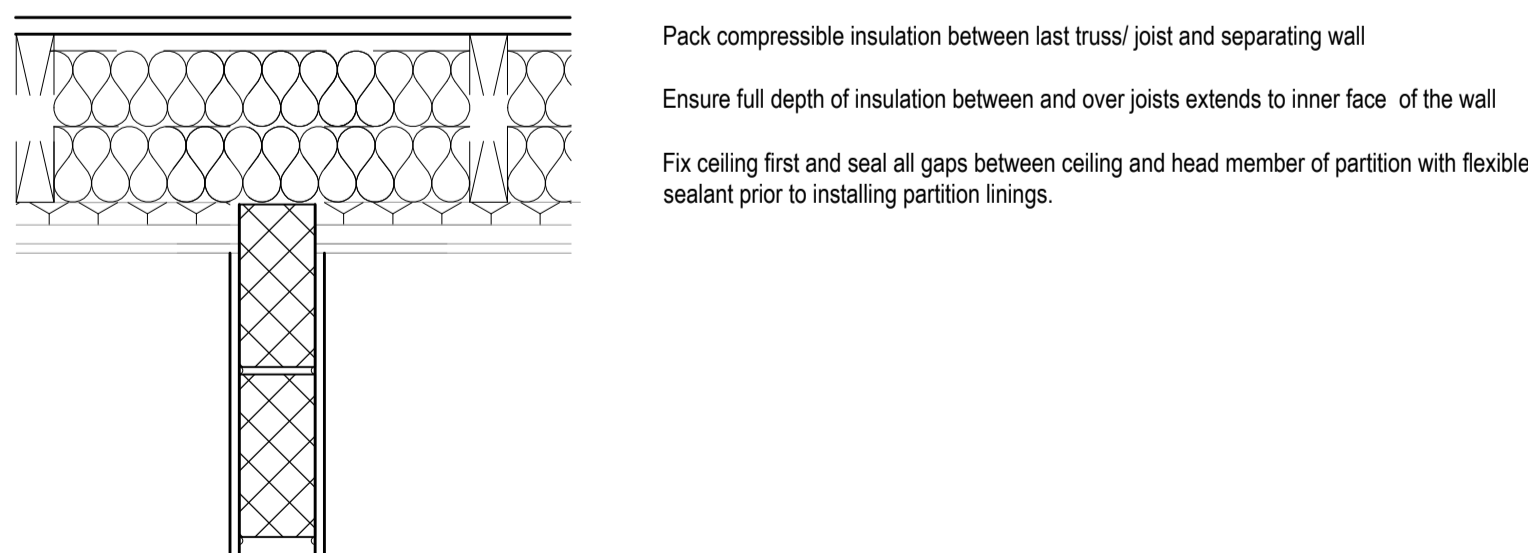
CLIENT:-

MR & MRS EVANS



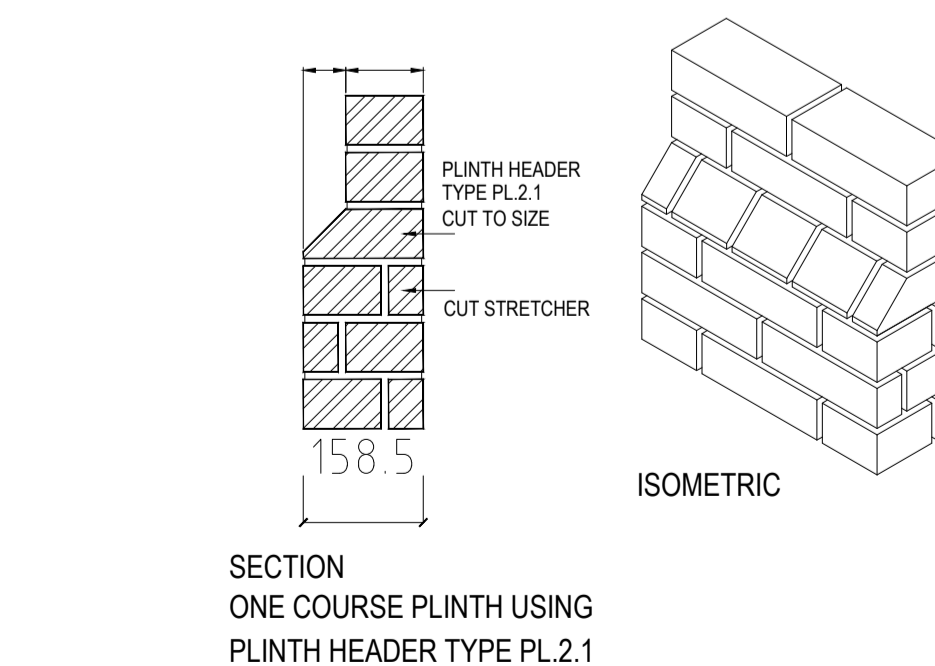
MATERIALS:-

1) Brick with low level plinth	Engineer
2) Natural slate to main roof	Planning
3) Cambrian interlocking slate to single storey roof	Bldg Regs
4) PVC windows and doors	Construction
5) Black PVC Rainwater goods	WALL KEY:-
6) White resin shingle drive	Block walls
7) 1.8M Fence to side and rear	Stud walls
8) Stone copings, cills & headers	Proposed walls



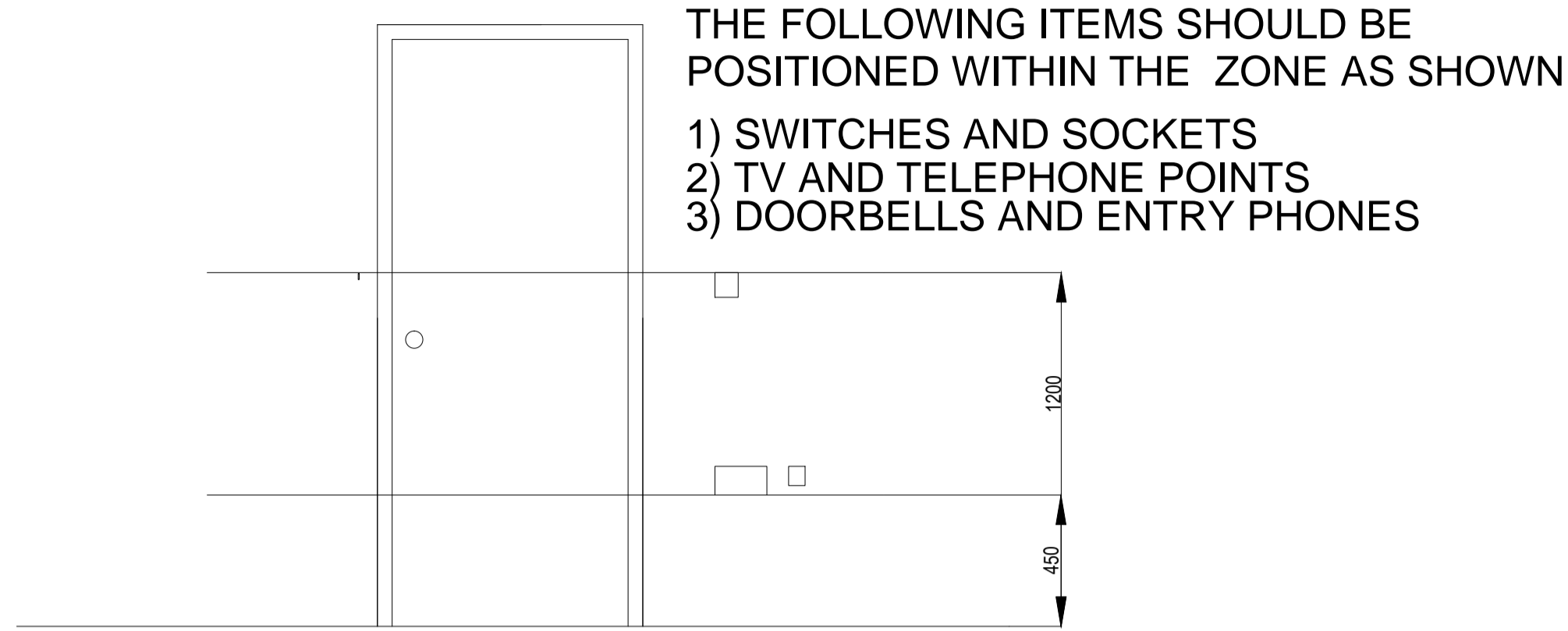
41 Masonry wall head (block)

To be read with Accredited detail MII-IW-04 and in conjunction with MII-IW-01

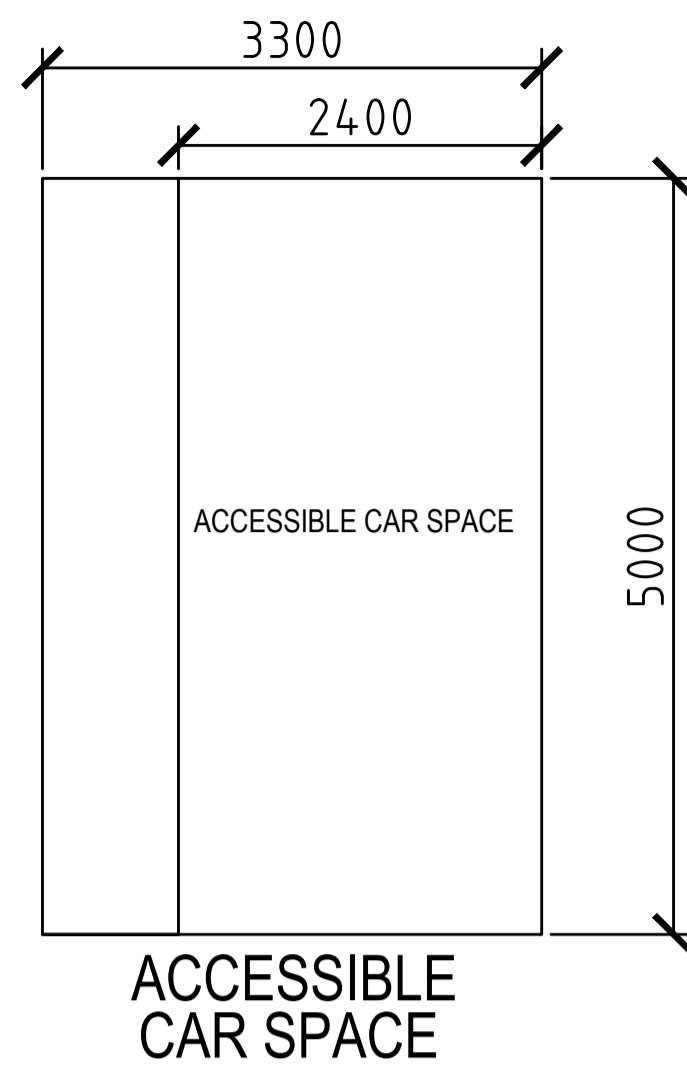


43 Plinth details

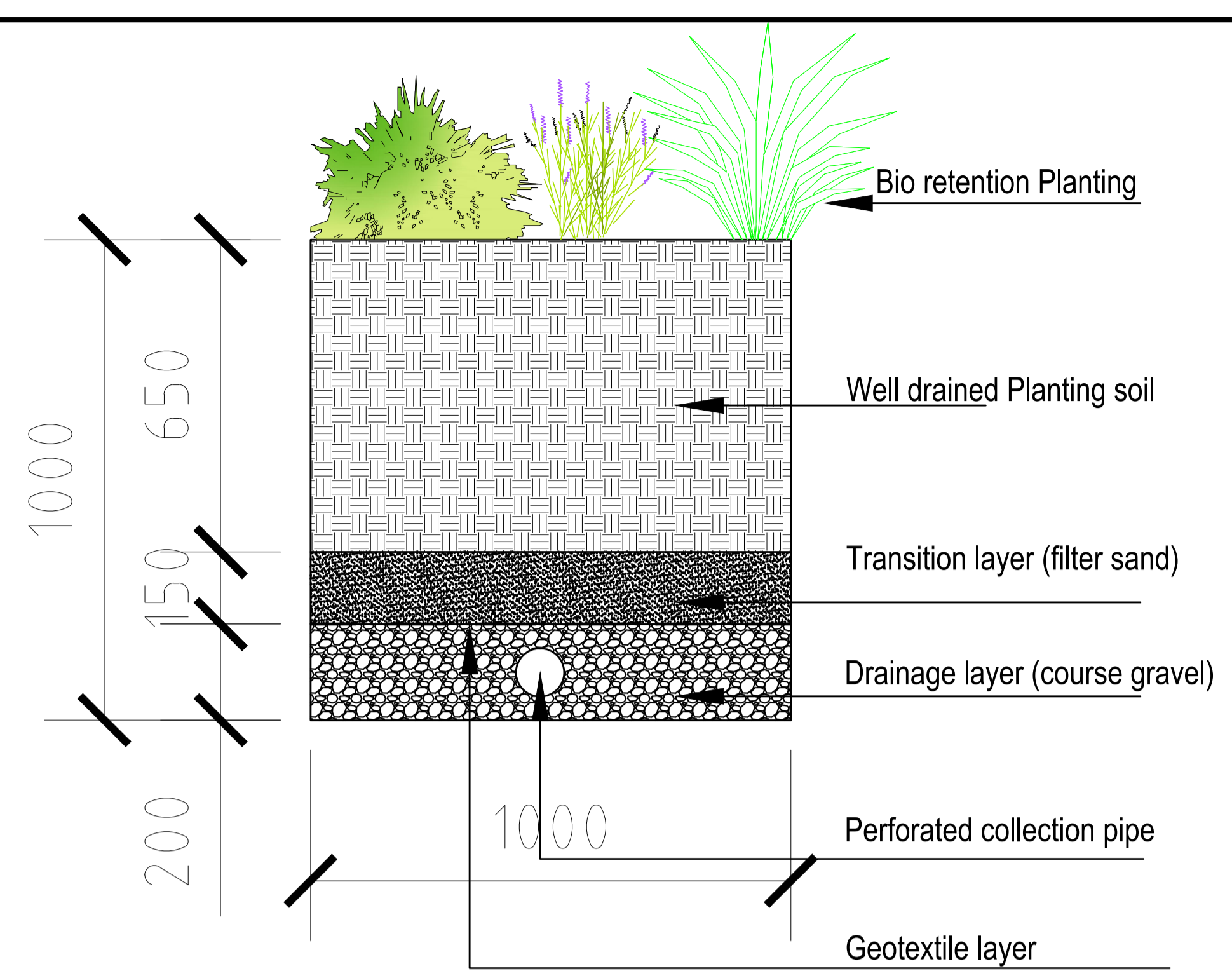
SWITCHES AND SOCKET OUTLETS TO BE PROVIDED BETWEEN 450 AND 1200MM FROM FLOOR LEVEL



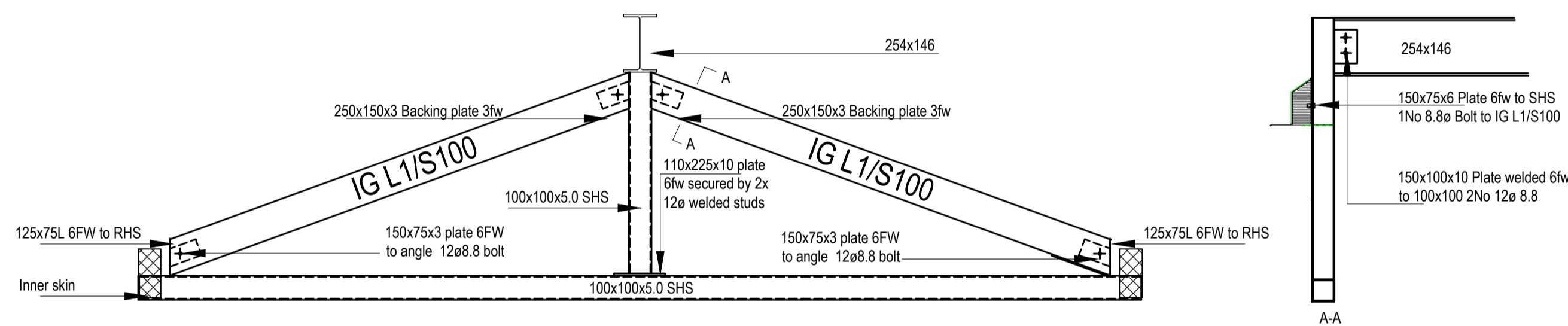
44 Switched and Socket levels



45 Accessible Space

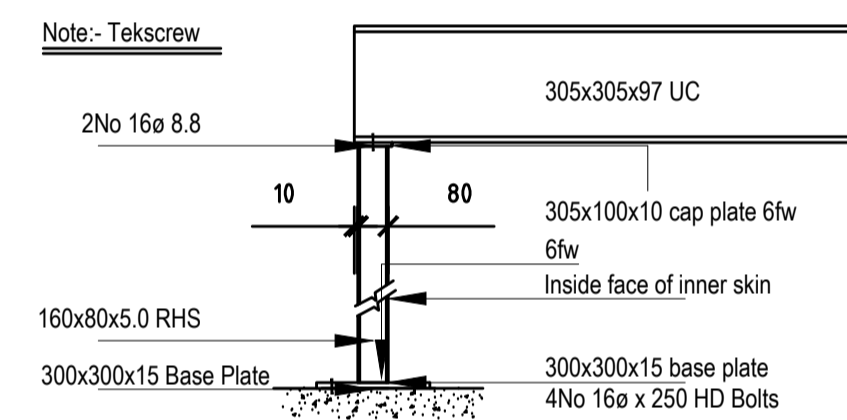


46 Bio-retention detail



47 Fabricated Lintel

See sheet 11 and 12 of structural calculations



48 Beam support 1

See sheet 15 of structural calculations

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UNDERGROUND DRAINAGE SYSTEMS - GENERAL INFORMATION

Material
Pipes and fittings are manufactured from Unplasticised polyvinyl chloride (PVCu)

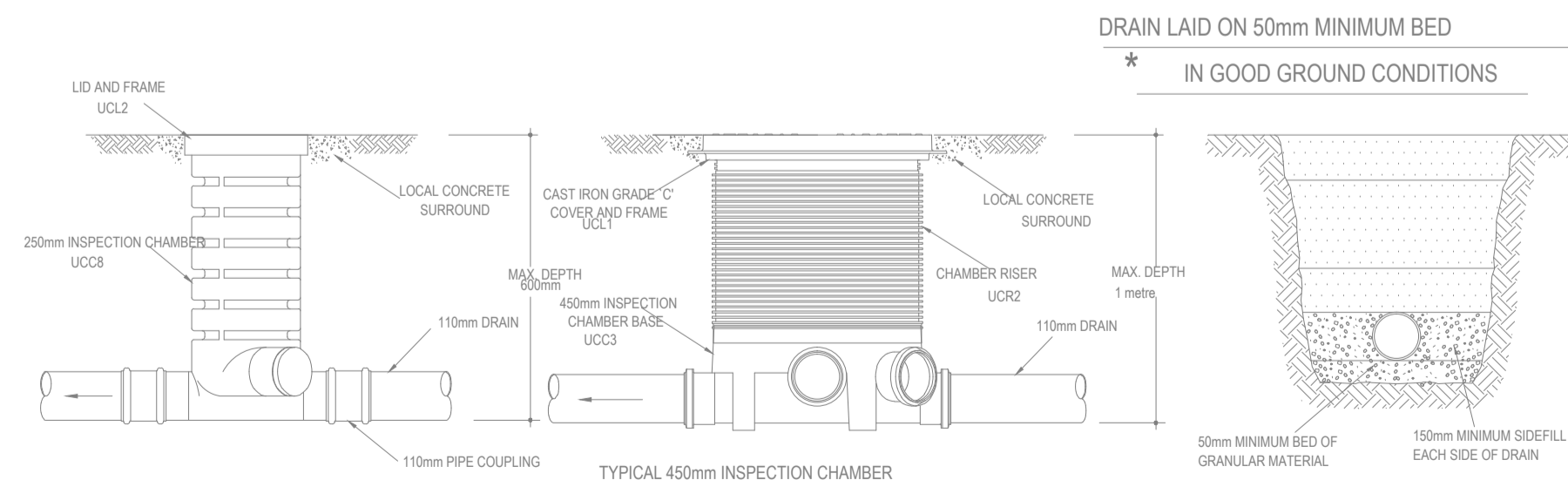
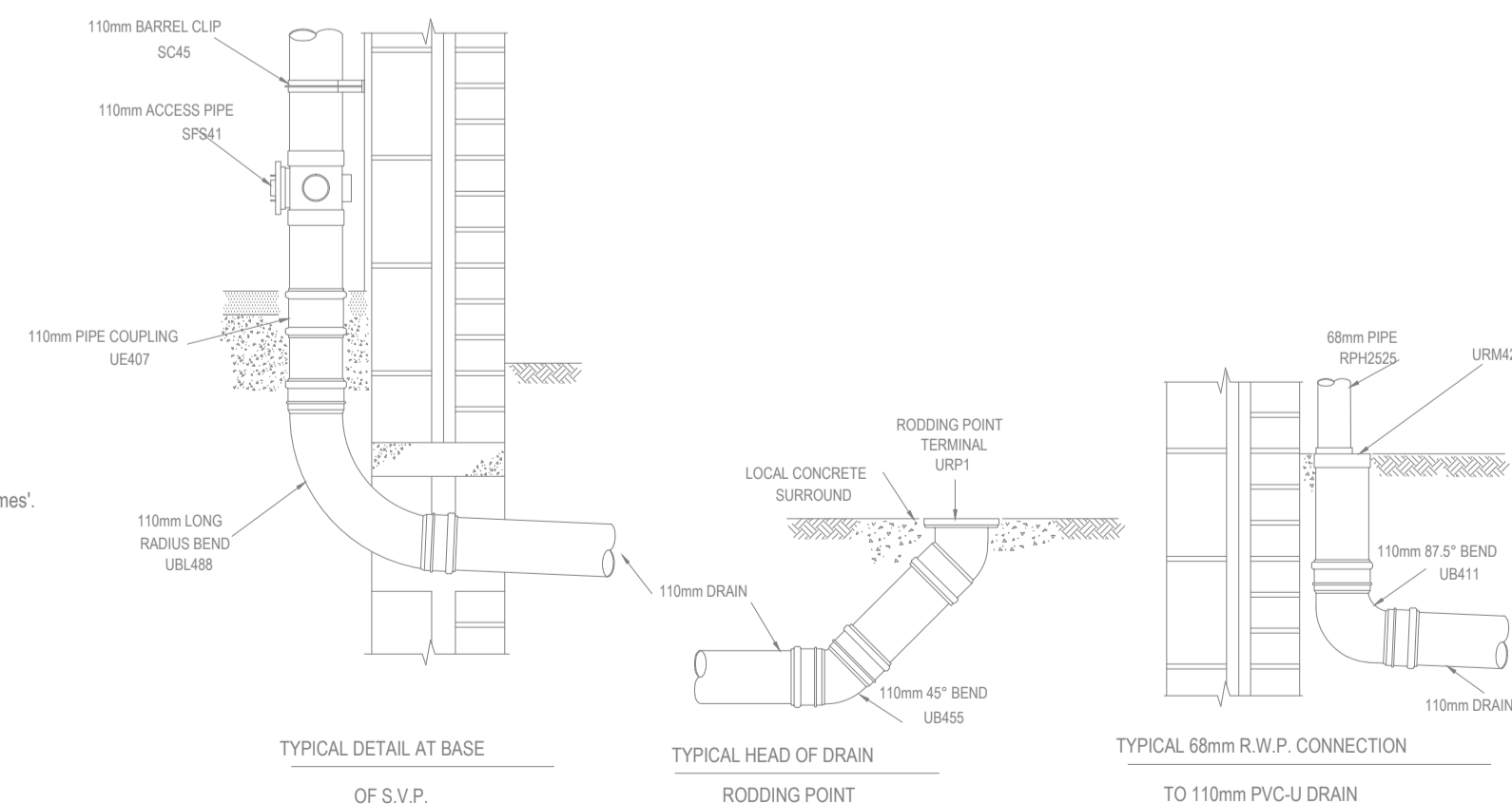
Quality Assurance
Approved quality control systems to BS5750:Part 2:1990, EN 29002/ISO 9002, 'Specification for Production and Installation'.

British Standards
BS4692:1989, 'Specification for Underground Drain Pipes and Fittings';
BS497:Part 1:1976, 'Specification for Cast Iron Inspection Chambers Covers and Frames'.

British Board of Agreement
Agreement Certificates 70/72, 71/99, 78/533 and 88/1977 published since 1970 document the history of independent assessment and verify product suitability.

Installation
In accordance with BS8301:1985, BS5955:Part 6:1980 and the manufacturers' recommended instructions as detailed in their product literature.

Technical Support



* A 50mm MINIMUM BED OF GRANULAR MATERIAL MAY BE USED PROVIDED THE ABOVE MATERIAL CAN BE HAND TRIMMED BY SHOVEL AND IS NOT PUDDLED WHEN WALKED UPON.

* THE FIRST 300mm OF BACKFILL SHOULD BE FREE FROM STONES EXCEEDING 40mm UNLESS THE GRANULAR MATERIAL EXTENDS 100mm ABOVE THE PIPE CROWN.

WHERE THE BACKFILL CONTAINS STONES LARGER THAN 40mm OR WHERE THE DRAIN IS DEEPER THAN 2M IN POOR GROUND, THE GRANULAR MATERIAL SHOULD EXTEND TO AT LEAST 100mm ABOVE THE PIPE CROWN.

SUITABLE MATERIAL IS DEFINED AS GRANULAR MATERIAL IN ACCORDANCE WITH THE RECOMMENDATIONS OF BS 5955 PART 6 1985 APPENDIX A, HAVING A NOMINAL PARTICLE SIZE NOT EXCEEDING 10mm FOR 110mm AND 14mm FOR 160mm DIAMETER PIPES.

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REV F	Paper A1
SHEET14/21	Scale : 1:50 1:100 1:1250
Date :FEB 2014	Drwg No: 2014/02/14/HSR

DSB PROPERTY DESIGNS LTD
Architectural consultants

PROJECT: -

DEMOLISH EXISTING DWELLING AND ERECT NEW 6 BEDROOM DETACHED HOUSE

SITE ADDRESS:-

HILLTOPS
SOUTHEND ROAD
HOWE GREEN
CM2 7TE

CLIENT: -

MR & MRS EVANS

SMARTER PLANNING CHAMPION

partner LABC

MATERIALS: -

- 1) Brick with low level plynth
- 2) Natural slate to main roof
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- 6) White resin shingle drive
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Engineer
Planning
Bldg Regs
Construction

WALL KEY: -
Block walls
Stud walls
Proposed walls

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